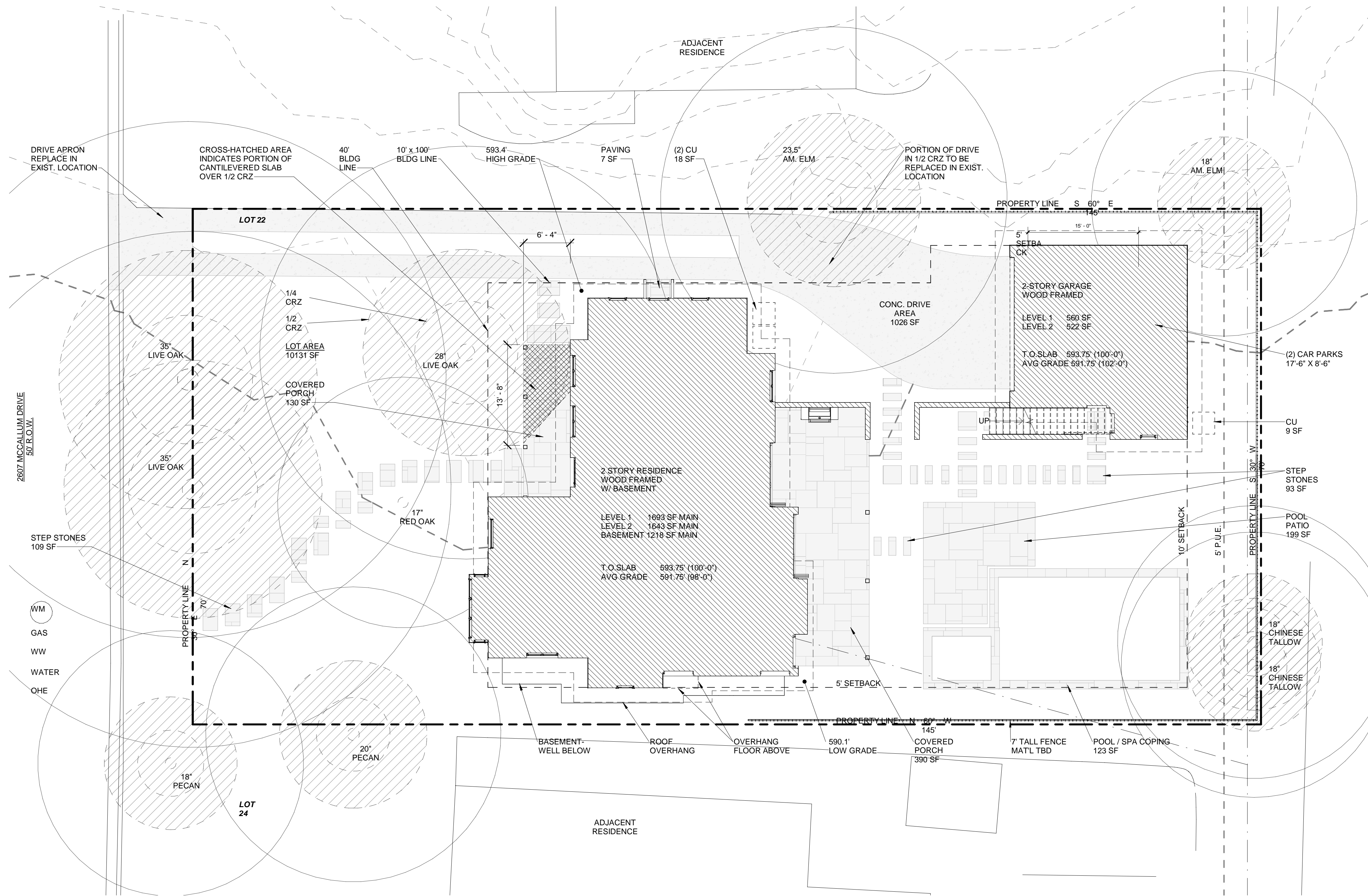


GENERAL SITE NOTES

- Any work that involves cutting or damage to existing conditions shall be repaired to match existing.
- Locate and mark all utilities prior to construction notify underground utility companies 48 hours prior to any excavation. Repair any damaged utility lines at contractor's expense.
- Construction materials shall be delivered via path and site entrance determined in pre-construction meeting.
- Coordinate with owner for special permits required for any temporary blockage of driveways, streets, or parking areas as required during construction.
- Remove all existing construction and landscaping within the footprint of the new construction.
- Contractor shall construct all new grades as indicated. Assume a constant slope between new relative spot elevations.
- Slope grade away from new building a minimum of 4% for 6 feet. Slope new impervious surfaces away from building at 2% (1/4" per foot) for 6 feet minimum.
- Provide a rough broom finish on all new exterior concrete walks.
- Restore existing landscape areas and lawns damaged by construction with sod.
- Provide reinforced HVAC unit, transformer, and generator pads as required by mechanical and electrical. Pad sizes shown are approximate sizes. Concrete pads shall be sized to accommodate manufacturer's recommendations.
- The limits of construction shall include, but not be limited to 12 feet outside of any constructed or renovated area and not to extend beyond the property line.
- Stockpiling of excavated or fill material shall be limited to an area as defined by the Architect / Owner.
- Trim all trees within 4 feet of new building. Coordinate any tree removal or pruning with the city tree permit. Provide city required tree protection.
- Indicated (100.0') finish floor elevation is a reference elevations. Actual finish floor elevation above sea level differs. All elevations are relative to F.F. (100.0') unless noted without parenthesis as 792.2'
- Site information provided by owner. Architect is not responsible for inaccurate site information or problems caused by inaccurate site information.
- Provide one pre-cast concrete splash block at each downspout extending 4 feet from building, unless downspout is tied into storm drain or drains on to concrete surface.

SITE LEGEND

- EXISTING CONTOUR
NEW CONTOUR
FENCE
TREE
BUILDING ENTRANCE
SPOT ELEVATION
D.S.
(R)
(E)
(D)
CJ
DOWNSPOUT
RELOCATED
EXISTING
DEMOLISH
CONTROL JOINT



REVISIONS		
NUMBER	DATE	DESCRIPTION

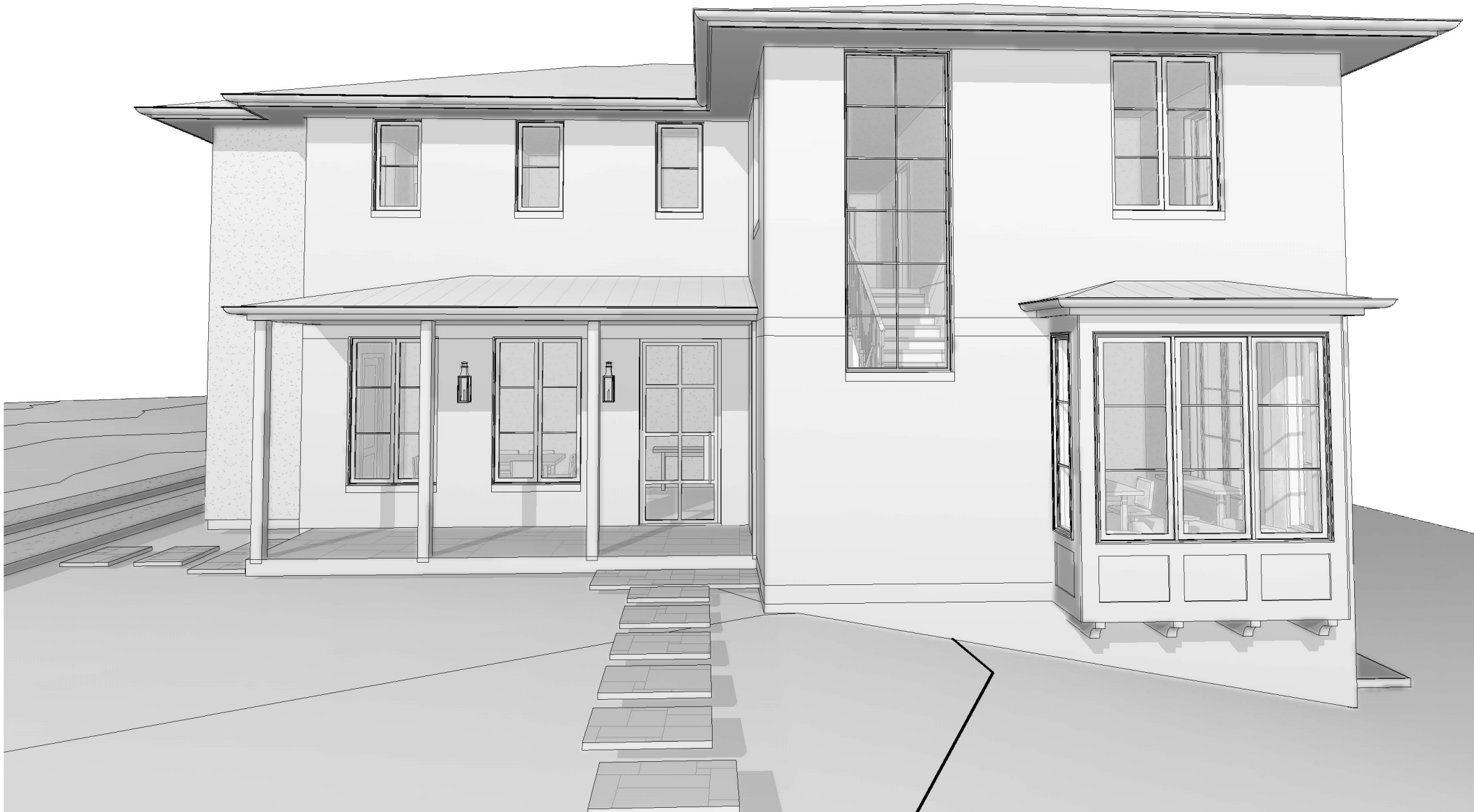
Site Plan	
DESIGN DEVELOPMENT	
DATE:	6/2/21
JOB:	2026

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Preliminary. Not for regulatory approval, permitting, or construction.



4 Perspective - Driveway to Backyard



2 Front Elevation



3 Perspective - Front Porch

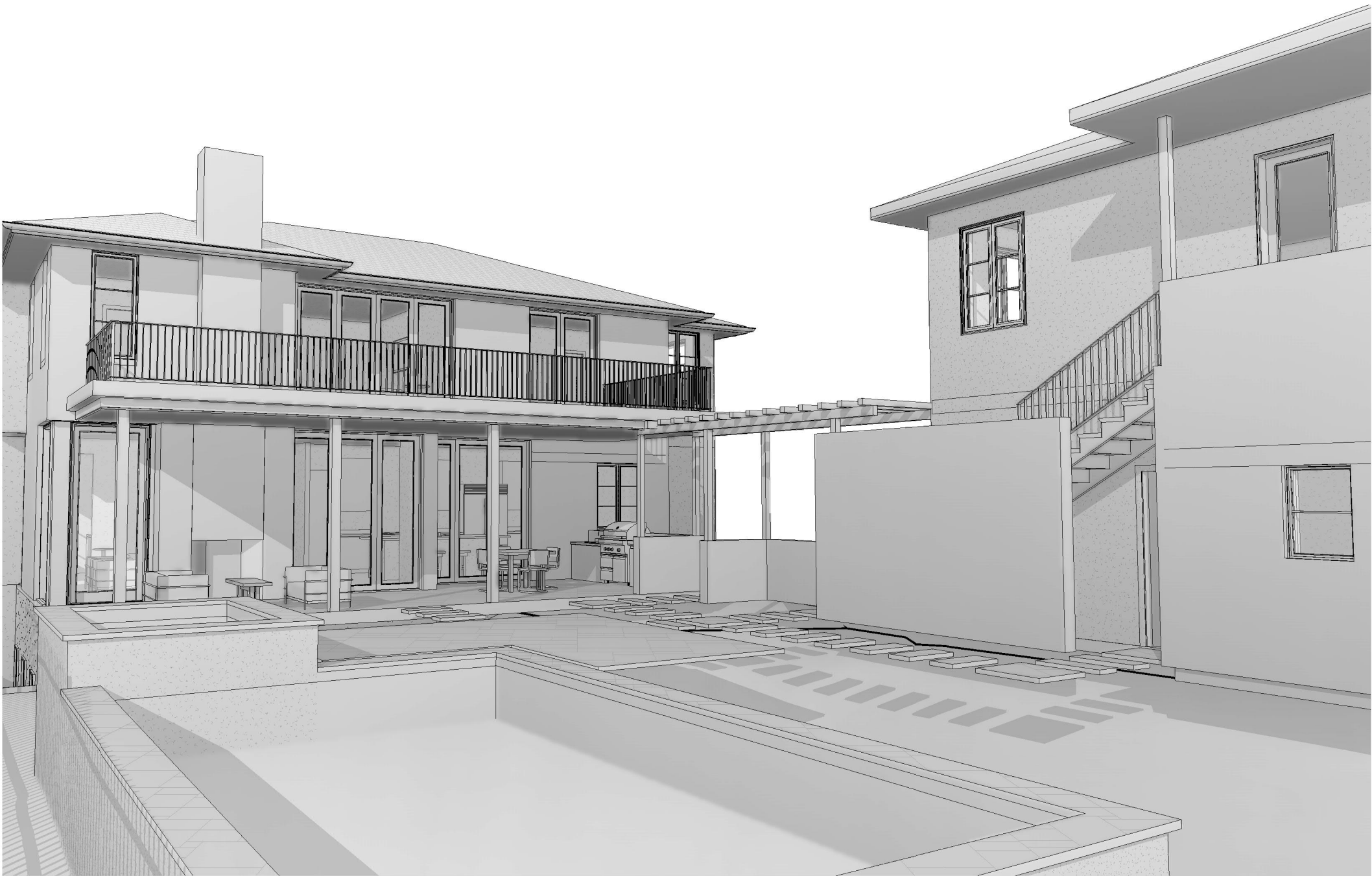


1 Perspective Driveway to Front

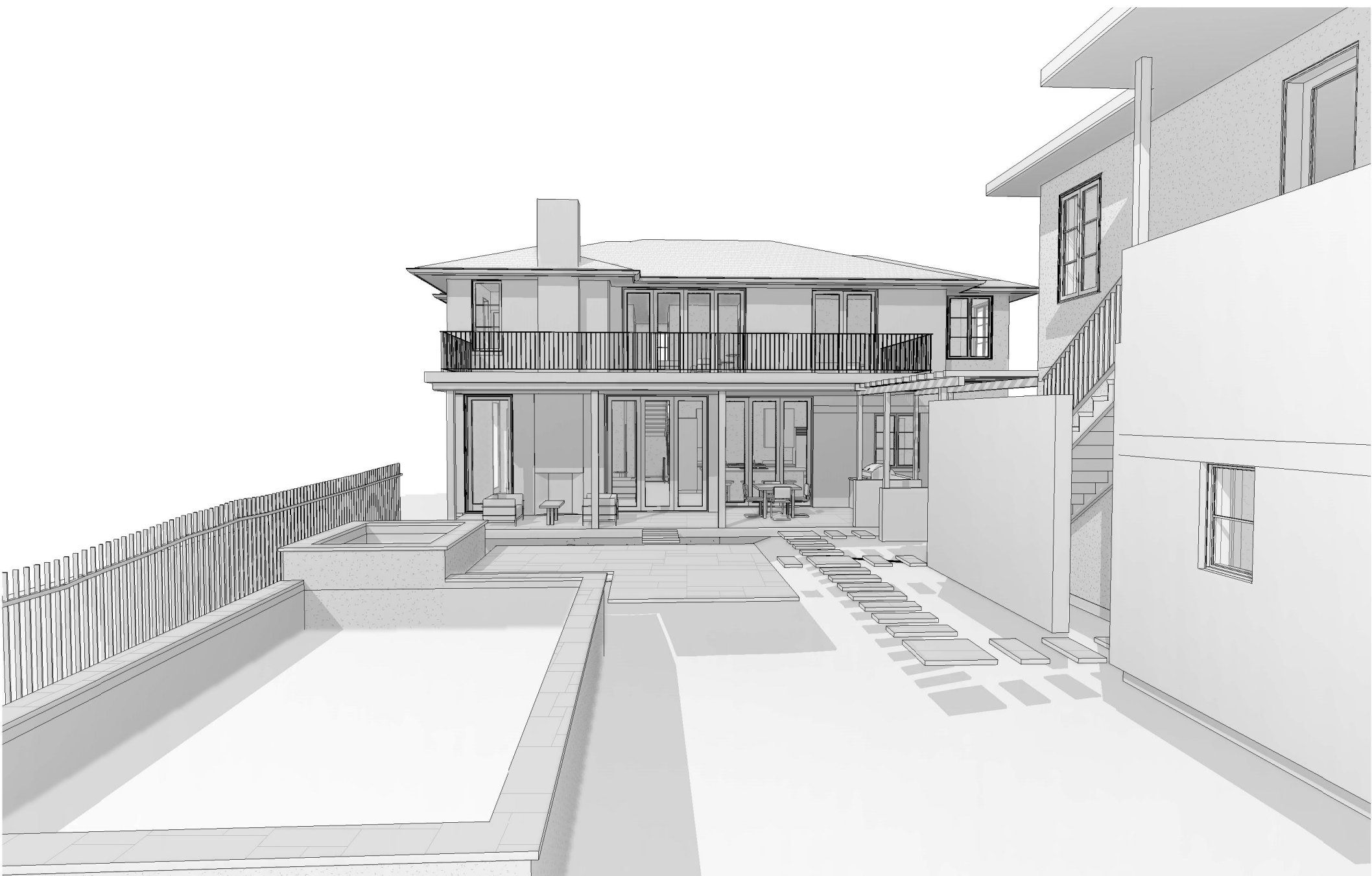
REVISIONS		
NUMBER	DATE	DESCRIPTION

3D Views	
DESIGN DEVELOPMENT	
DATE:	6/2/21
JOB:	2026

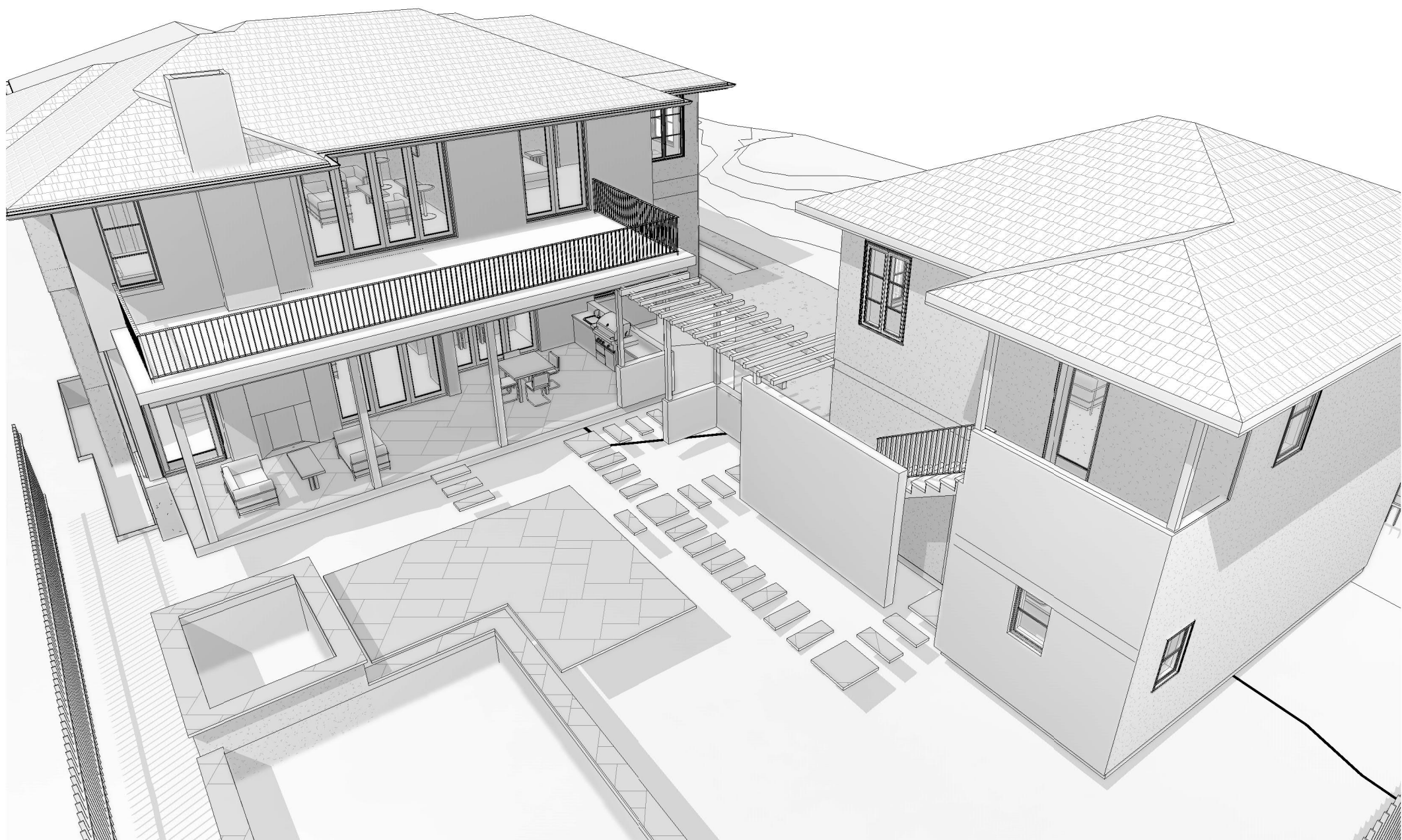
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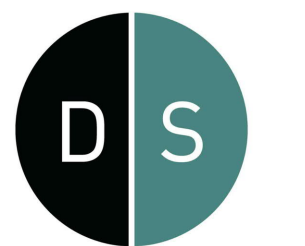
2 Perspective - Pool to House



1 Perspective - Rear Elevation



3 Perspective - Backyard Bird's Eye



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2607 McCallum Drive, Austin, TX 78703

REVISIONS		
NUMBER	DATE	DESCRIPTION

3D Views

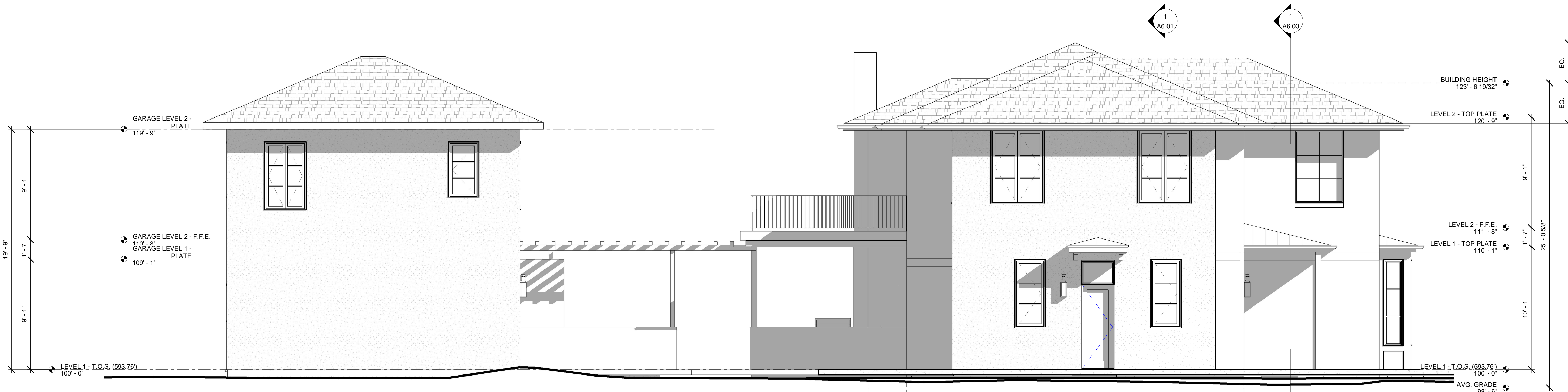
DESIGN DEVELOPMENT

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JOB: 2026

SHEET:

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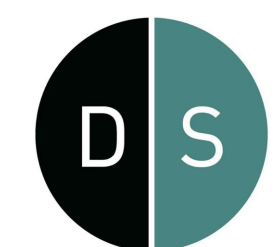
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LEFT
2 NORTH ELEVATION
1/4" = 1'-0"



FRONT
1 WEST ELEVATION
1/4" = 1'-0"



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REVISIONS		
NUMBER	DATE	DESCRIPTION

Building Elevations

DESIGN DEVELOPMENT

DATE: 6/2/21

JOB: 2026

SHEET:

A4.01

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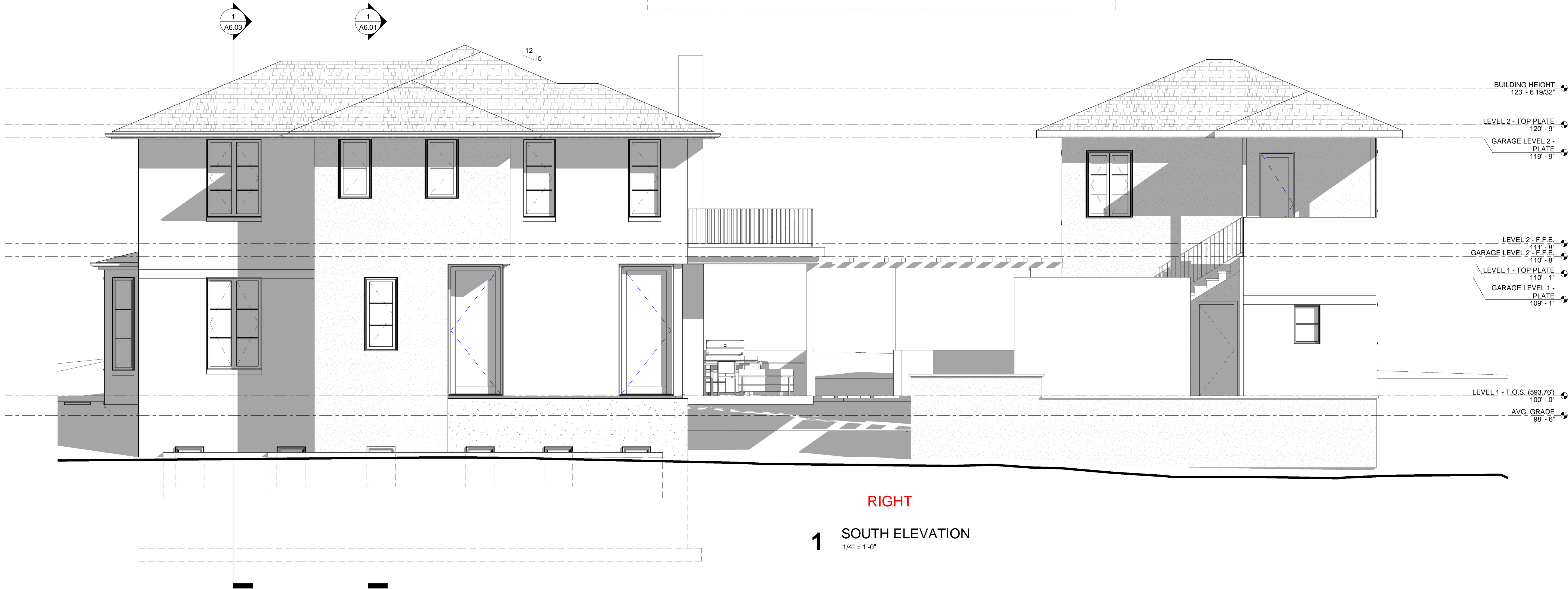
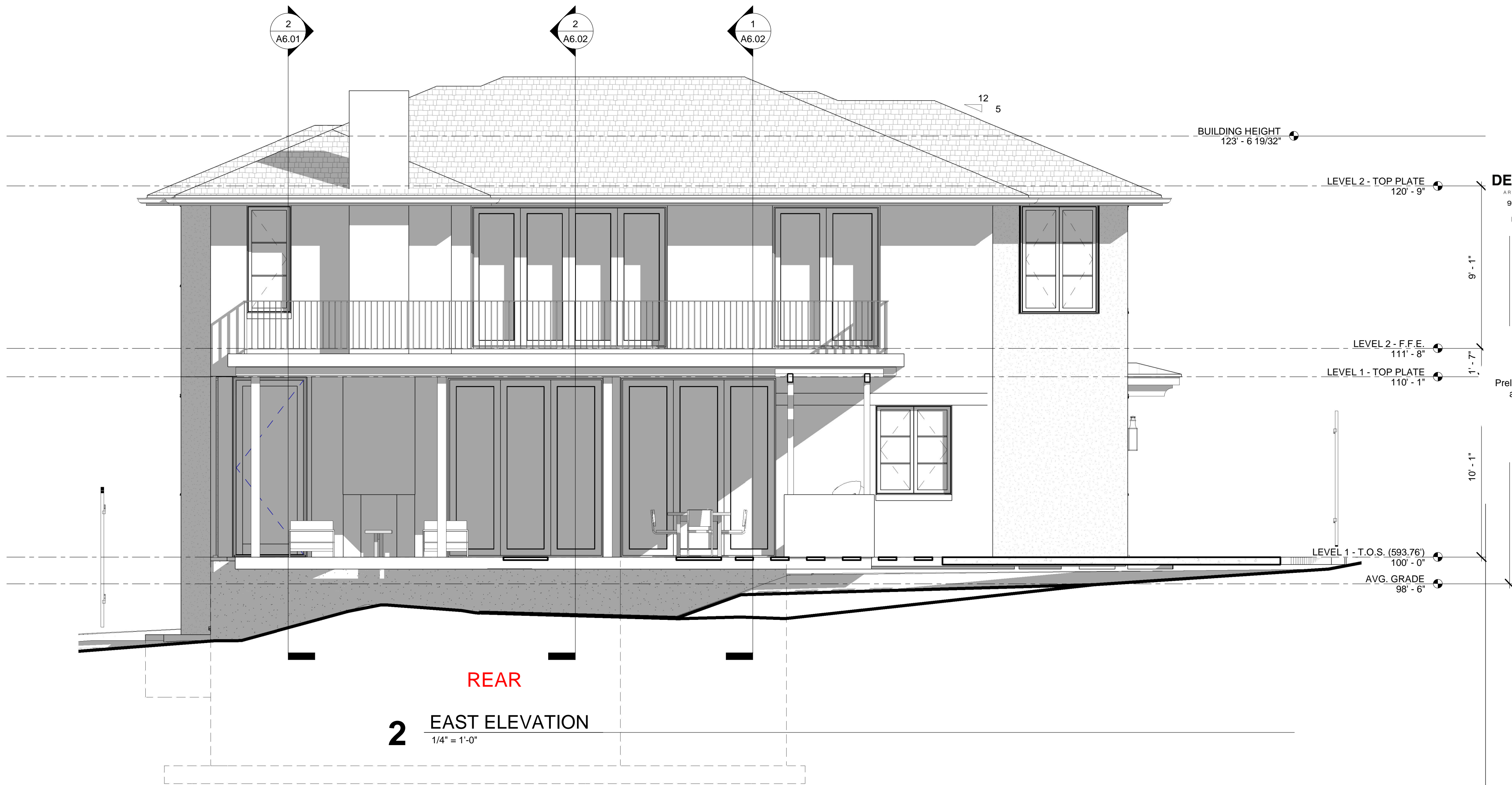
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REVISIONS

NUMBER	DATE	DESCRIPTION

Building Elevations

DESIGN DEVELOPMENT

DATE: 6/2/21
JOB: 2026

SHEET:

A4.02

1. PROJECT ADDRESS
2607 McCALLUM, AUSTIN, TX 78703
2. LEGAL DESCRIPTION
S 55FT OF LOT 22 & N 15 FT OF LOT 24 BLK 17
PEMBERTON HEIGHTS SEC 8
3. ZONING: SF-3-NP
4. NEW BUILDING CONDITIONED AREA: 5136 SF
5. NEW BUILDING CONSTRUCTED AREA: 6267 SF
6. APPLICABLE CODES: 2015 IRC, 2015 IECC

GENERAL SITE NOTES:

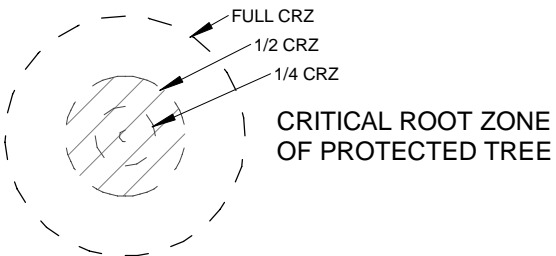
1. See plot plan for any specially noted foundation in outer half of the tree CRZ.
2. See plot plan for dimension of any porch projection over setback.
3. No setback averaging.
4. No new structure in the 25 year flood plain.
5. See plot plan for any 100 or 25 year flood plains.
6. Cantilever slab at 1/2 CRZ. See Structural. No soil disturbance or subgrade preparation allowed at this zone.
7. See sheet BP-5 for visitability notes.

LEGEND

NEW STRUCTURE

IMPERVIOUS COVER

PORTION OF CANTILEVERED SLAB OVER 1/2 CRZ



ABBREVIATIONS

- | | |
|-----|--------------------|
| (E) | EXISTING |
| CRZ | CRITICAL ROOT ZONE |
| CU | CONDENSING UNIT |
| EM | ELEC METER |
| OHE | OVERHEAD ELEC |
| UGE | UNDERGROUND ELEC |
| UP | UTILITY POLE |
| GM | GAS METER |
| WM | WATER METER |
| WW | WASTE WATER |
| IC | IMPERVIOUS COVER |

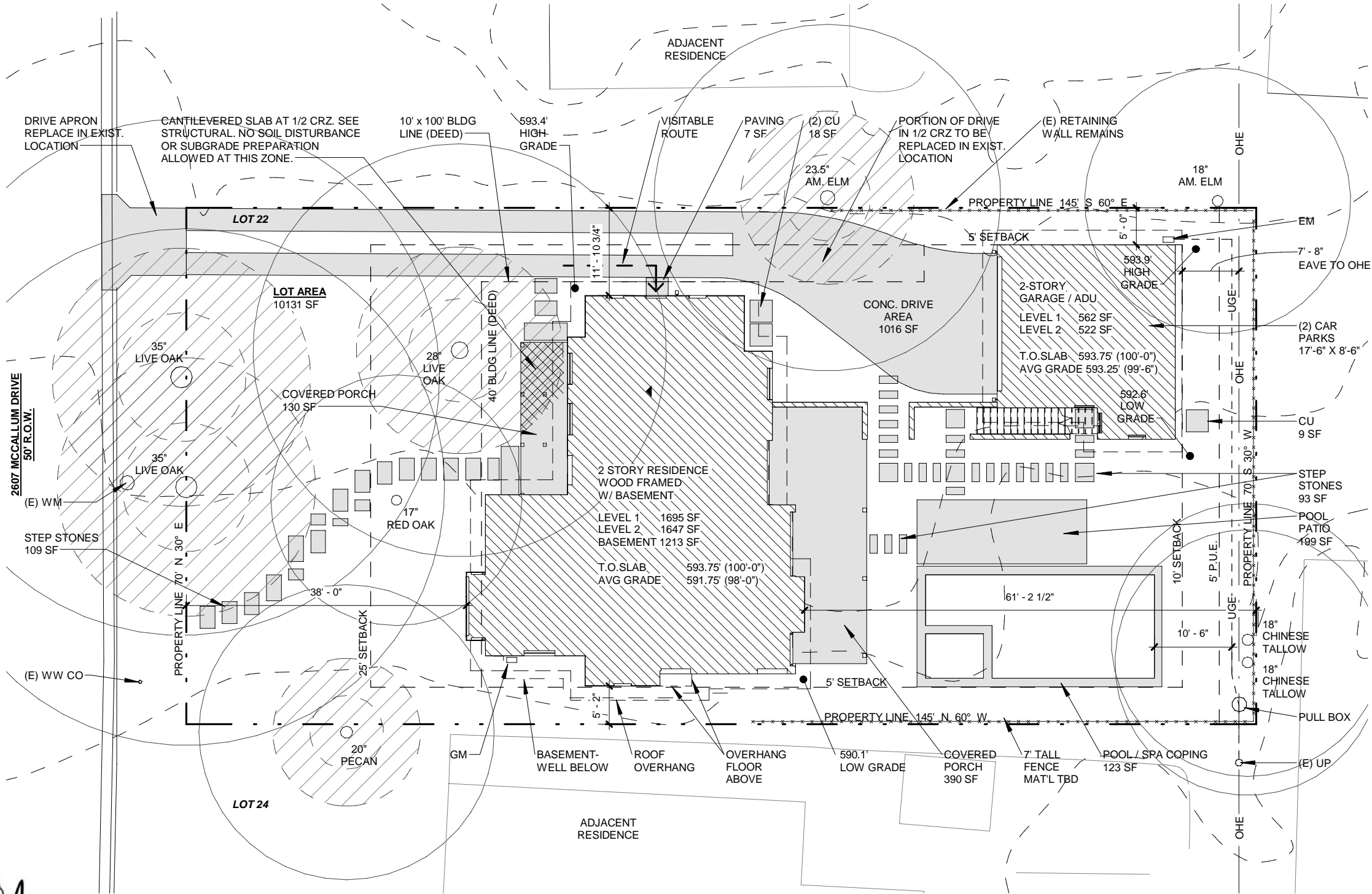


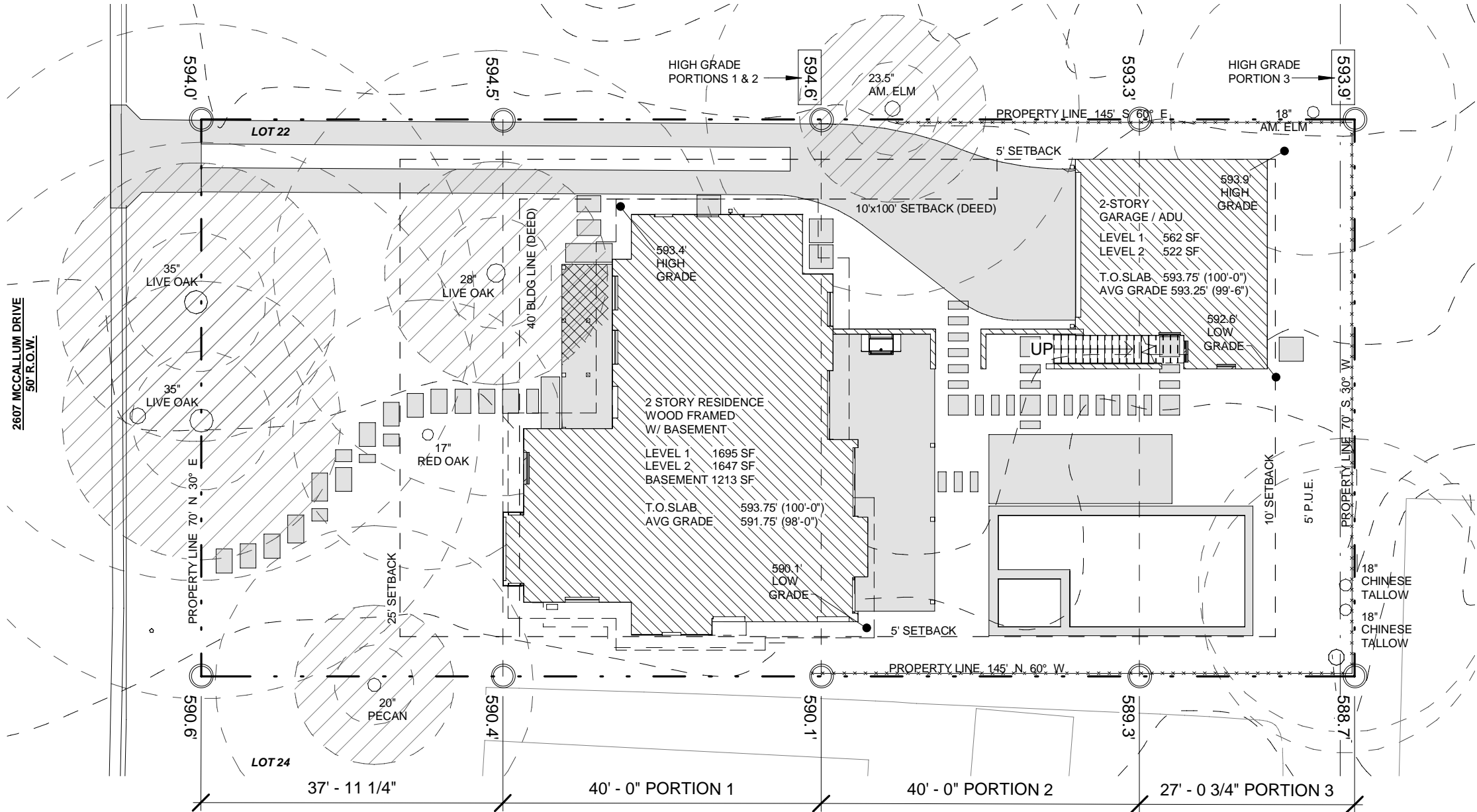
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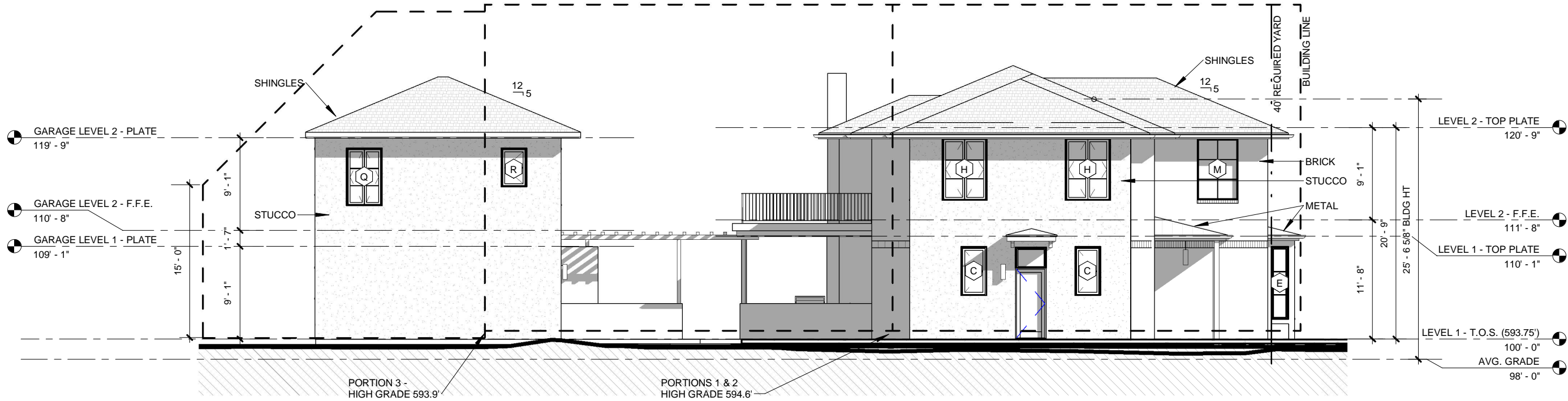
3D SETBACK TENT

1/16" = 1'-0"

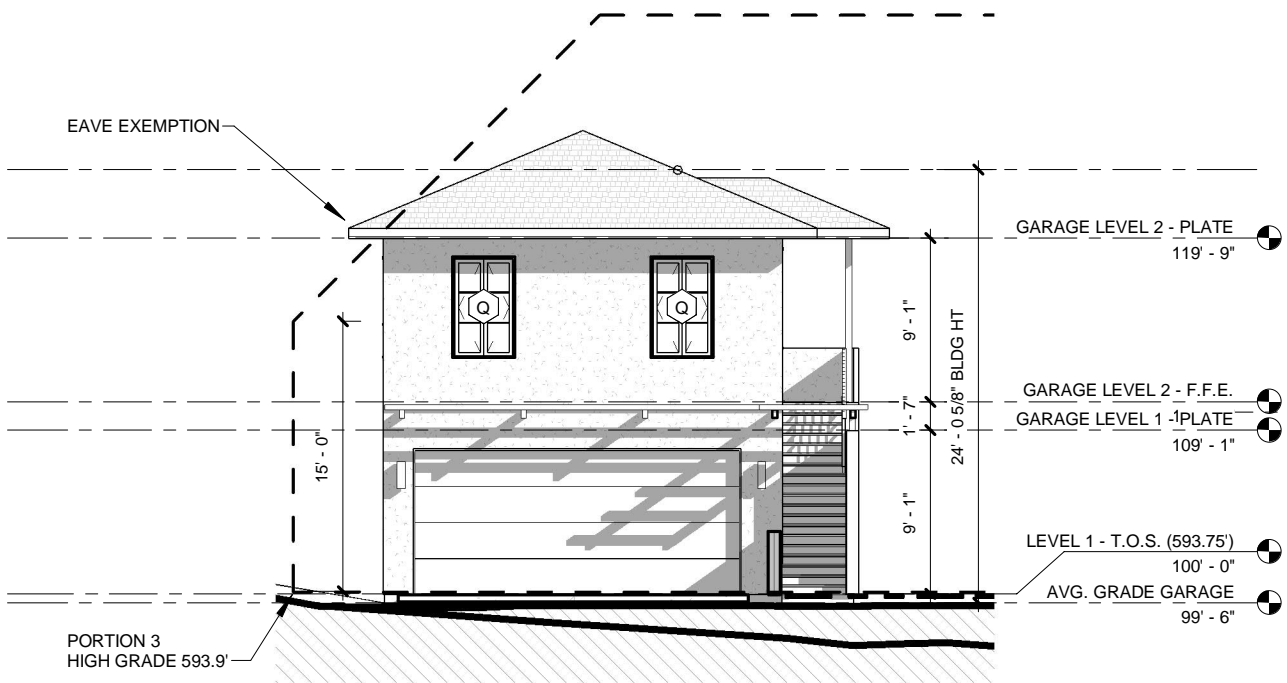
JOB: 2026
DATE: 06/23/21

SHEET:

BP-1b



2 NORTH ELEVATION
3/32" = 1'-0"



3 GARAGE WEST ELEVATION
3/32" = 1'-0"

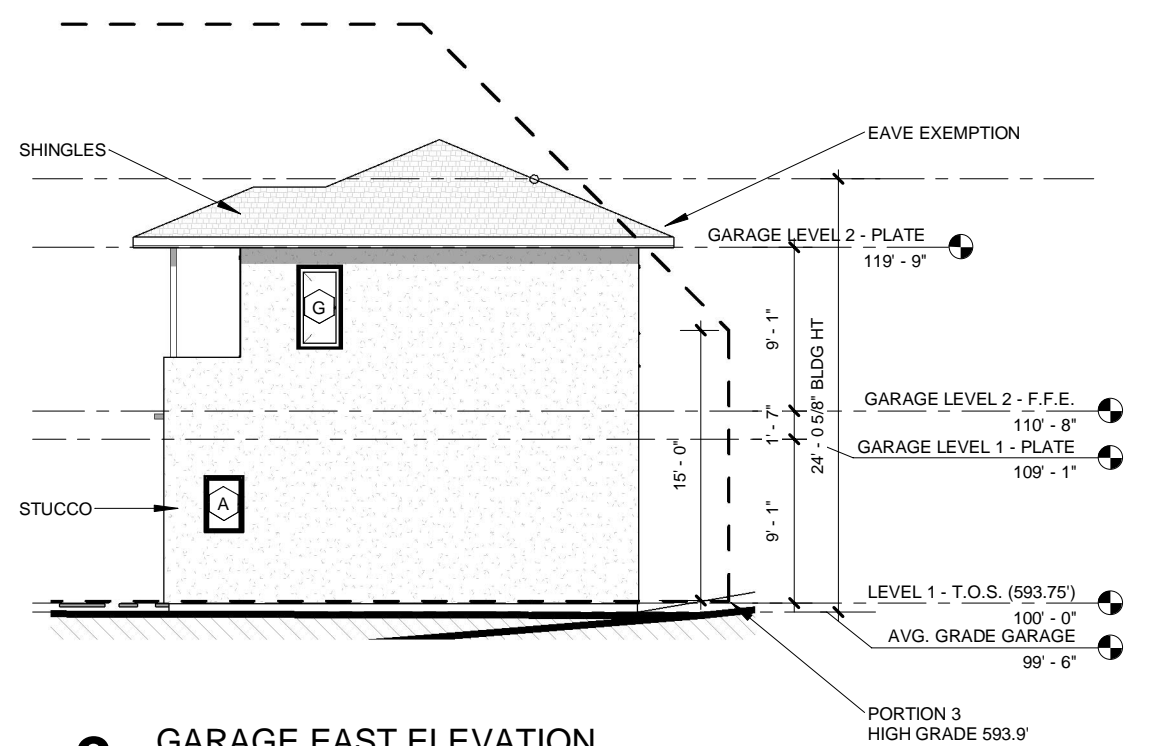


1 WEST ELEVATION
3/32" = 1'-0"

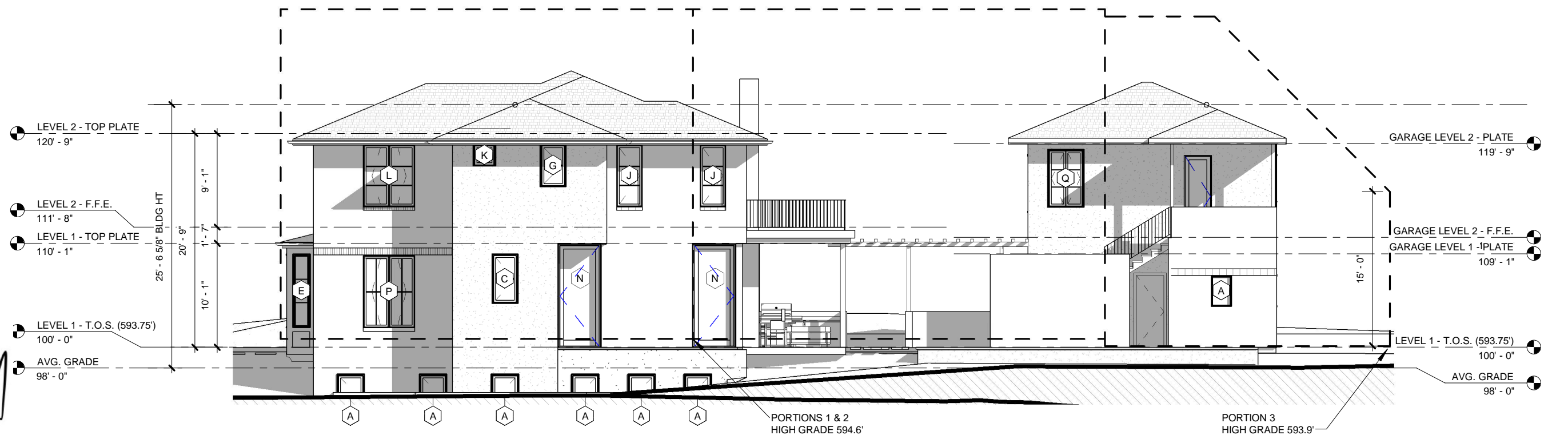
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3 EAST ELEVATION
3/32" = 1'-0"



2 GARAGE EAST ELEVATION
3/32" = 1'-0"



1 SOUTH ELEVATION
3/32" = 1'-0"



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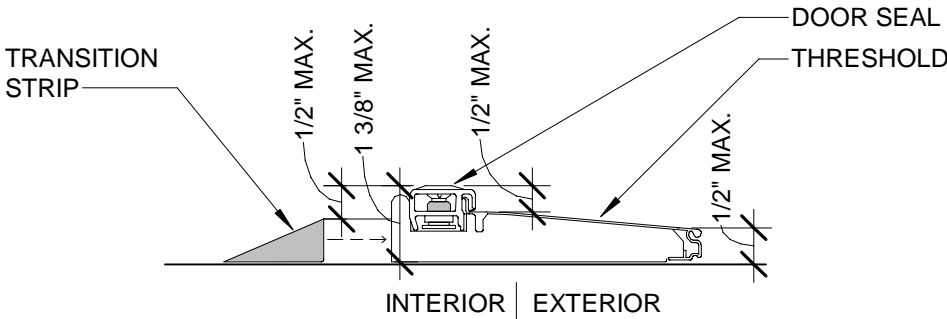
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SHEET:

BP-4b

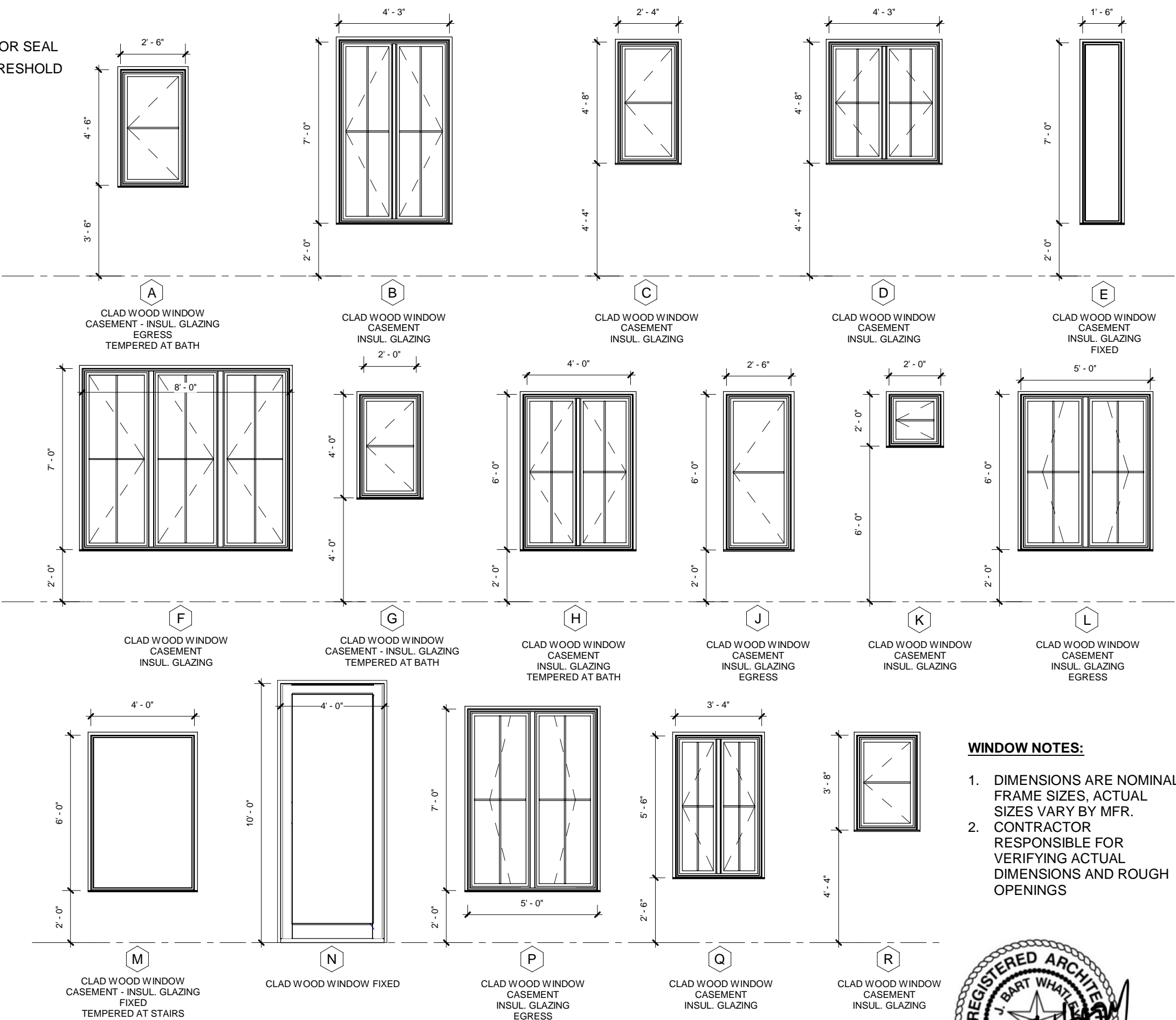


2 DETAIL - TYP. THRESHOLD

3" = 1'-0"

VISITABILITY NOTES:

1. First floor to comply with all visitability standards under city code Sec. 25-12-243, R320. Visitability items are referenced on floor plans.
2. VISIBLE bathrooms (R320.3): At least 1 bathroom group must contain the following: A) Minimal net clear opening of 30"; B) Lateral 2x6 blocking, centerline 34" from finished floor, except for the portion behind the lavatory. C) 30"x30" floor space not impeded by door swing. D) Bath walls to have lateral 2x6 blocking, centerline 34" from finished floor, except for portion behind lavatory.
3. VISIBLE light switches, receptacles and environmental controls (R320.4): The first floor of a dwelling must contain the following: A) All light switches and environmental controls shall not be installed greater than 48" above the finished floor; B) All outlets and receptacles shall be installed no less than 18" above floor. This measurement is from the top of the device or box to the unfinished floor.
4. VISIBLE bathroom route (R320.5): All bathrooms designated for visitability on the first floor will be accessible by a route with a minimum clear pathway of 36" beginning at the visitable entrance and continuing through the living room, dining room, and kitchen. Any living space on a first floor requires a visitable bathroom, though living and kitchen is not required to be on the first floor.
5. VISIBLE dwelling entrance (R320.6): A dwelling must be accessible by at least one "no-step" entrance (Detail 2/BP-5) and the door shall have a net clear opening of 32" served by a 36" min. exterior route

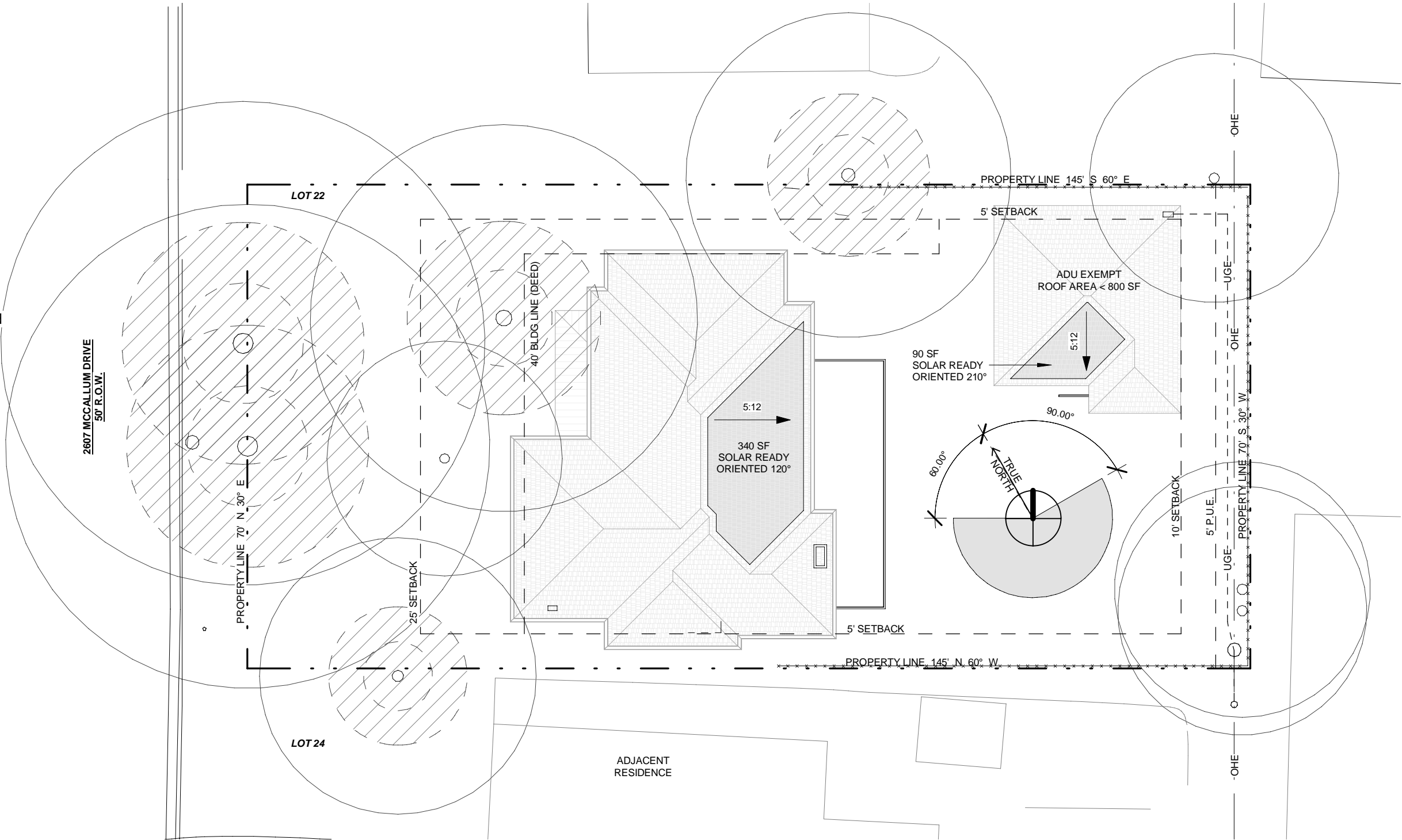


WINDOW NOTES:

1. DIMENSIONS ARE NOMINAL FRAME SIZES, ACTUAL SIZES VARY BY MFR.
2. CONTRACTOR RESPONSIBLE FOR VERIFYING ACTUAL DIMENSIONS AND ROUGH OPENINGS

SOLAR READY NOTES

- 1. Areas of roof covered by tree canopies more than 50% of annual daylight hours are exempt from solar ready, as are dwelling units less than 800 sf.
- 2. The total solar area may be comprised of 1 or 2 zones, both having orientation between 300 deg clockwise to 90 deg of true north.
- 3. Total solar ready zones shall not be less than 240 sf, with one at least 100 sf. No solar ready zones are to be less than 6'-0" on a side.
- 4. Areas designated as solar ready are to be free and clear of any and all roof penetrations or obstructions.



6/24/2021



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SOLAR PLAN

1/16" = 1'-0"

JOB: 2026
DATE: 06/23/21

SHEET:

BP-6